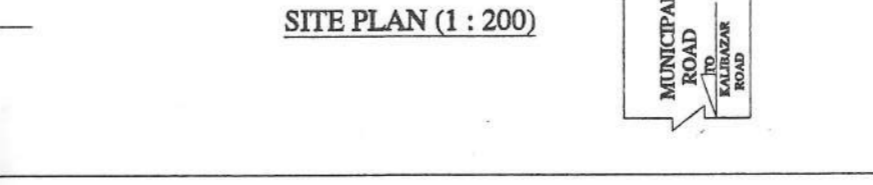
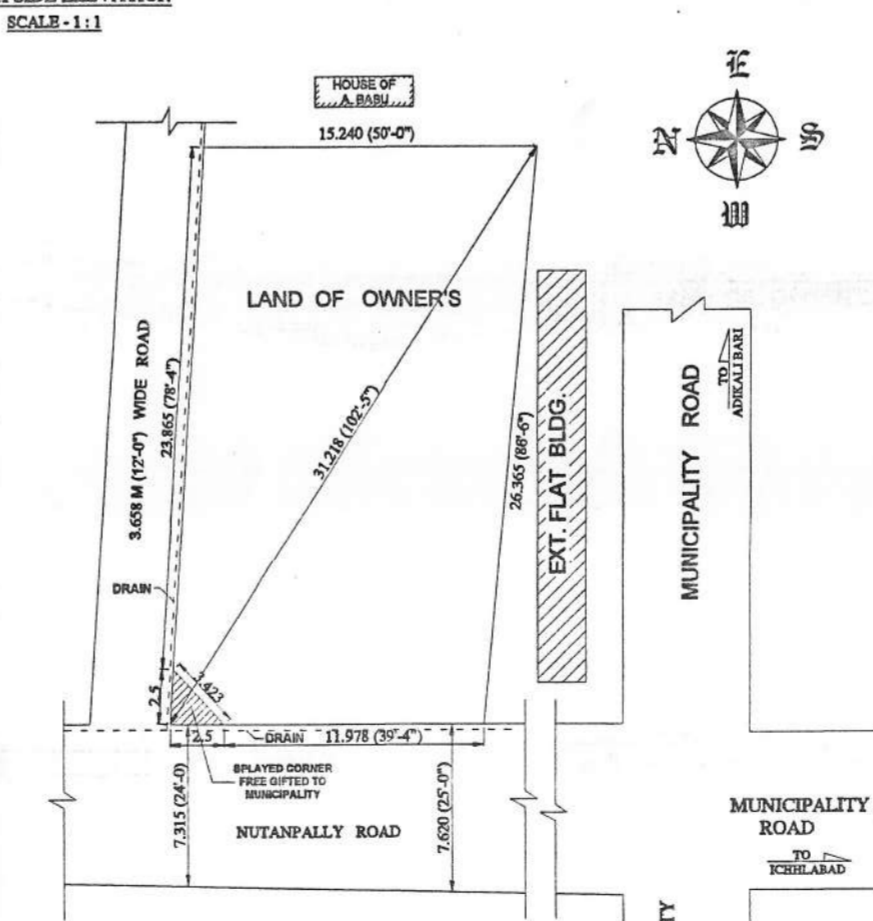
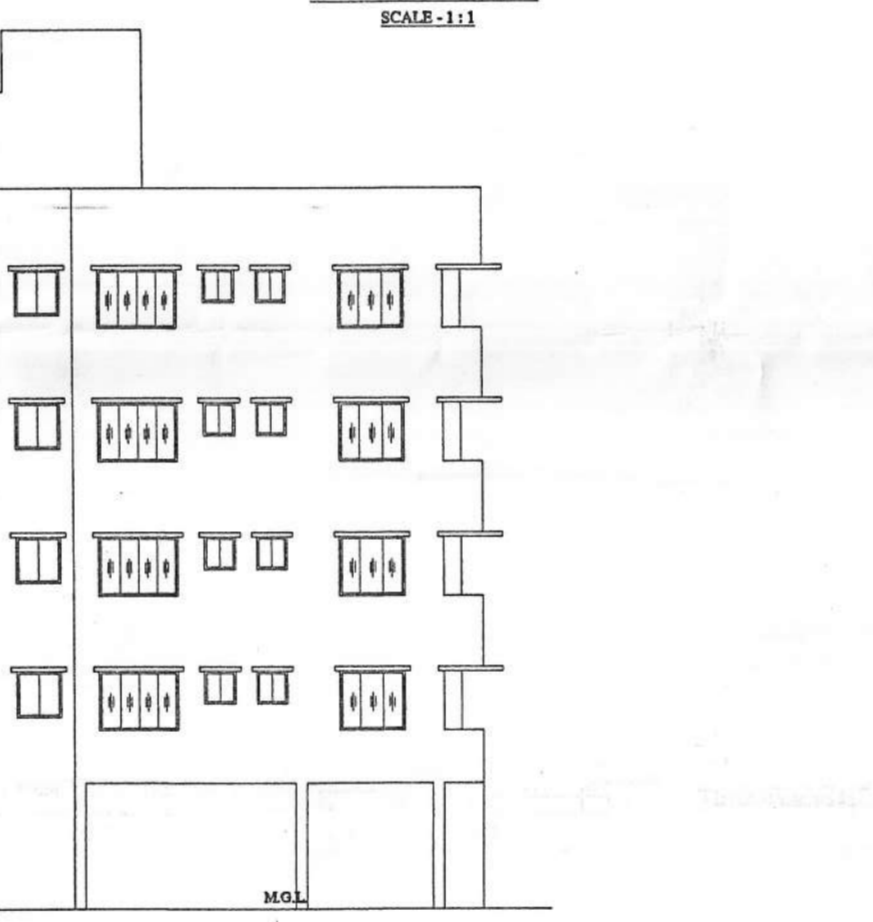
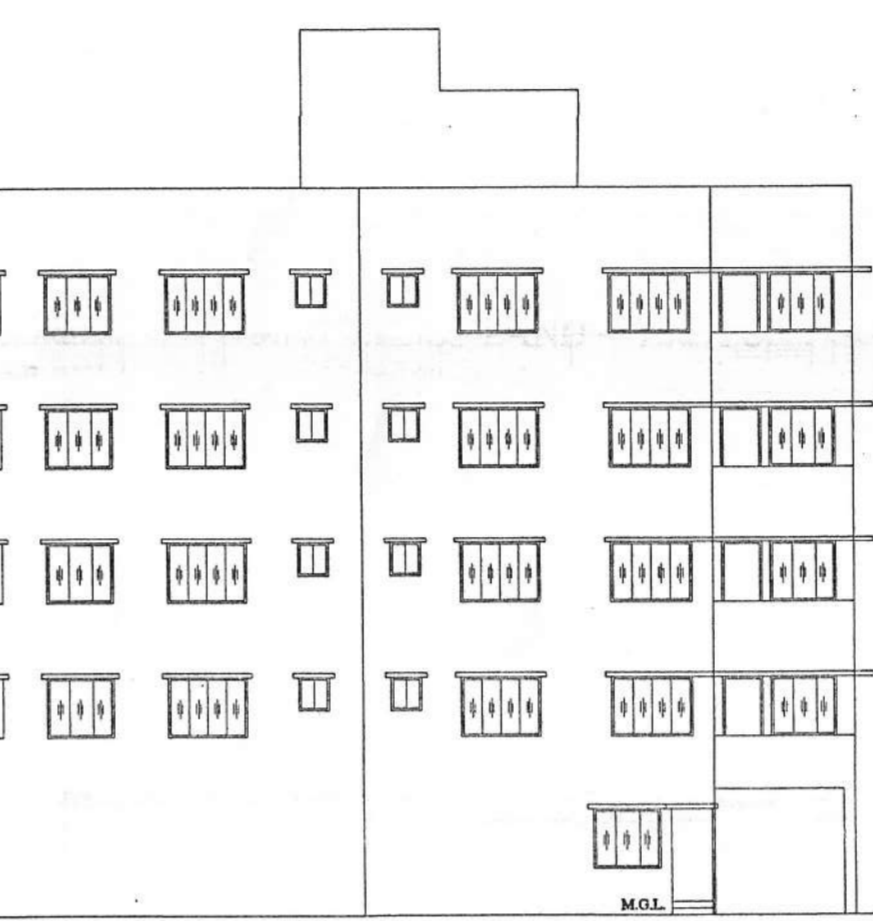
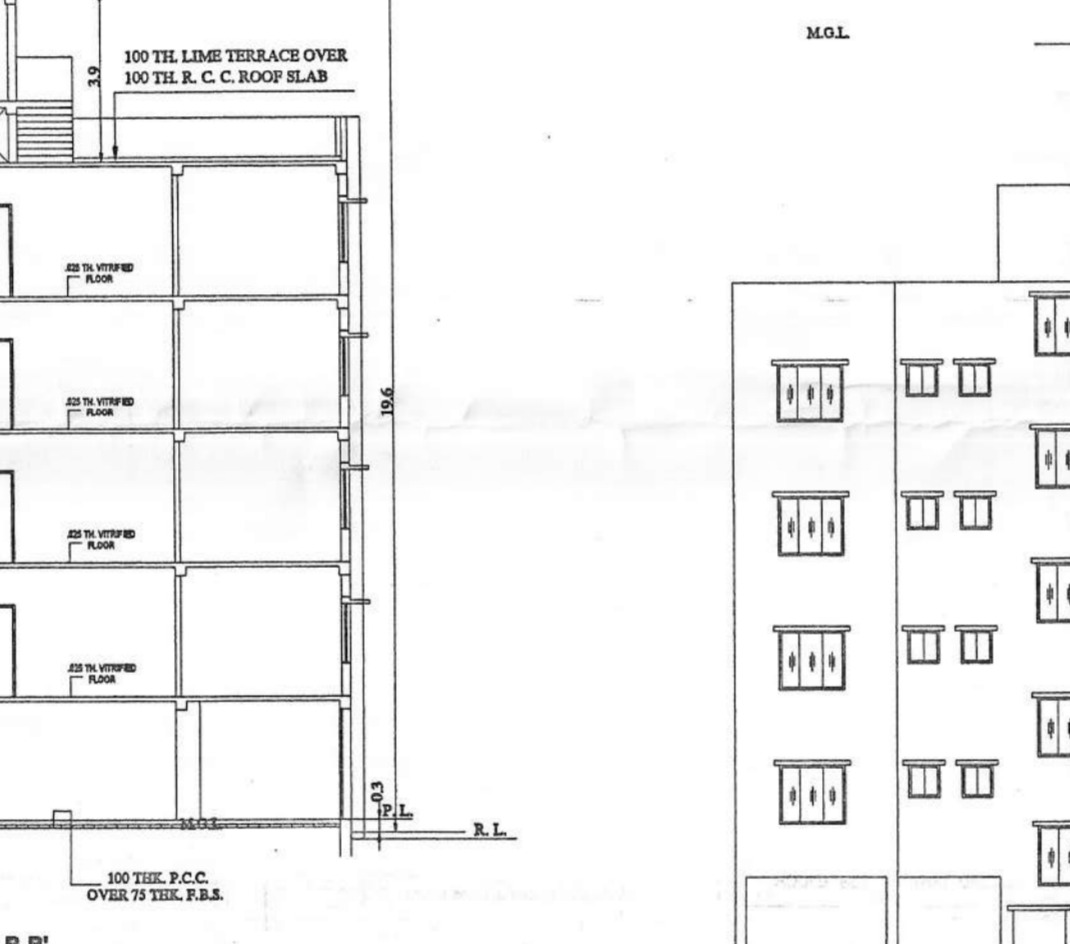
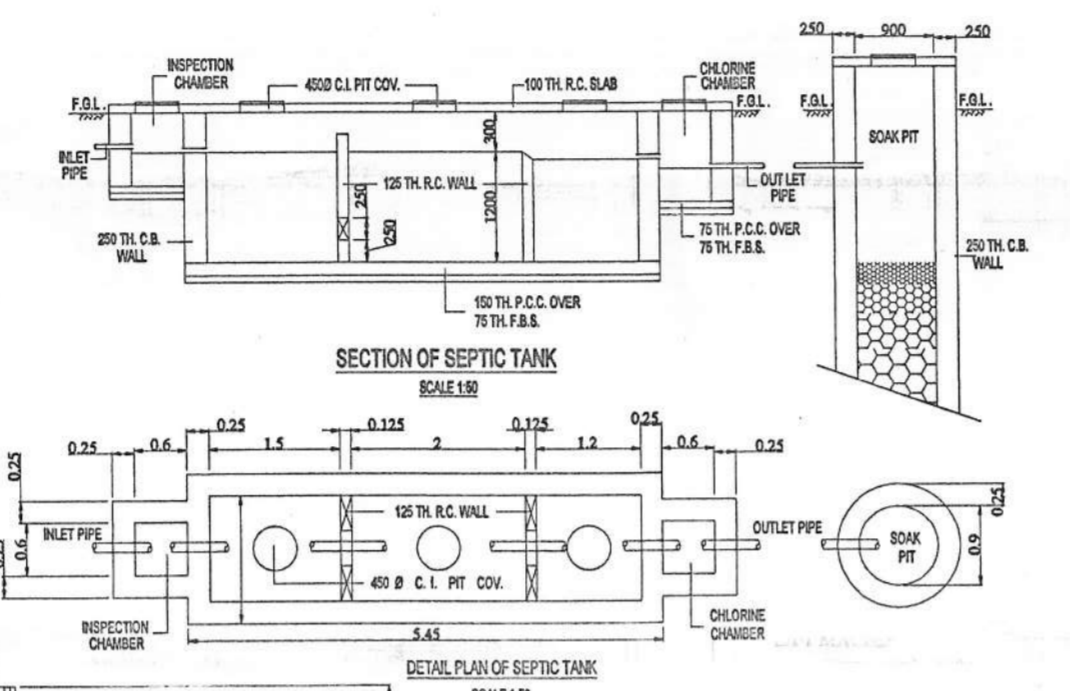


DOORS SCHEDULE				WINDOWS SCHEDULE			
DOOR MKD	WIDTH	HEIGHT	W	WINDOW MKD	WIDTH	HEIGHT	LH
D1	1200	2100	W	2000	1950	2100	
D2	900	2100	W	1500	1950	2100	
D3	750	2100	W	1000	1950	2100	
			WH	700	750	2100	
			VHS	1000	1950	2100	

FLOOR AREA	AREA (F. A. R.) CALCULATION				ACTUAL AREA WITH OUT (DUCT/LIFT WELL+STAIR DUCT)	RES. MANDATORY STAIR AREA (REVOLV)	LIFT LOBBY AREA	AREA EXCLUDING LIFT/LIFT LOBBY AREA	ACTUAL RESIDENTIAL AREA	ACTUAL COMMERCIAL AREA	COVERED CAR PARKING AREA	CUP BOARD / LOFT AREA	F.A.R. CALCULATION (MAY/17/14)
	TOTAL AREA	DUCT	LIFT WELL	STAIR DUCT									
GIL. FLOOR	164.82	---	---	---	164.82	13.87	5.07	173.76	---	---	---	---	160.00 - 164.22 / 1.50
1ST. FLOOR	164.82	2.00	---	---	164.82	13.87	5.07	177.76	---	---	---	---	160.00 - 164.22 / 1.50
2ND. FLOOR	164.82	2.00	---	---	164.82	13.87	5.07	177.76	---	---	---	---	160.00 - 164.22 / 1.50
3RD. FLOOR	164.82	2.00	---	---	164.82	13.87	5.07	177.76	---	---	---	---	160.00 - 164.22 / 1.50
4TH. FLOOR	164.82	2.00	---	---	164.82	13.87	5.07	177.76	---	---	---	---	160.00 - 164.22 / 1.50
TOTAL FLOOR AREA	658.10	8.00	---	---	658.10	55.58	20.28	602.30	702.82	---	175 SQM	160.00 - 164.22 / 1.50	---

USES	TOTAL TEMENT AREA	REQUIRED PARKING		PARKING PROVIDED		TOTAL NO.
		No.	AREA	No.	AREA	
RESIDENTIAL AREA	702.82	7	175	7	NIL	7
COMMERCIAL AREA/ MERCHANTILE	---	---	---	---	NIL	---
RETAIL	---	---	---	---	NIL	---
FOR OTHER USES	---	---	---	---	NIL	---
GRAND TOTAL	702.82	7	175	7	---	---



PLAN OF PROPOSED G+V STORIED RESIDENTIAL APPARTMENT OF SUDIPA CHAKRABORTY W/O- LATE SANKAR PROSAD CHAKRABORTY & DEBANALI CHAKRABORTY D/O- LATE SANKAR PROSAD CHAKRABORTY AT THE MOUZA- RADHANAGAR, J.L. NO- 39, R.S. PLOT NO- 7322, L.R. PLOT NO- 7302, R.S. KHATIAN NO. - 244, L.R. KHATIAN NO- 9266 & 9267, MAHALLA- KALIBAZAR, HOLDING NO- 137, WARD NO- 08, UNDER BURDWAN MUNICIPALITY, P.S.- BURDWAN & DIST- PURBA BARDHAMAN.

AREA CALCULATION

AREA LAND - 404.833 SQM / 4366 SFT.
 AREA OF LAND (AS PER PHYSICAL MEASUREMENT) = 390.115 SQM.
 PROPOSED GROUND COVERAGE (80%) AREA = 312.092 SQM.
 WIDTH OF THE ROAD = 7.3 (MAY) M.
 PERMISSIBLE F.A.R. = 2.00
 PERMISSIBLE P.A.R. = 1.88
 PERMISSIBLE BUILDING HEIGHT = 16.00 M.
 PROPOSED BUILDING HEIGHT = 16.00 M.
 PROPOSED GROUND FLOOR AREA = 312.092 SQM.
 PROPOSED 1ST, 2ND, 3RD & 4TH FLOOR AREA (164.82X4) = 779.28 SQM.
 TOTAL PROPOSED FLOOR AREA = 1091.372 SQM.
 PROVIDED RESERVOIR AREA (WITHOUT ENTRANCE LOBBY) = 81.621 SQM.
 No. OF FLATS = 12
 No. OF SHOPS = 0
 TOTAL No. OF PARKING PROVIDED = 7

EACH FLAT AREA IN EACH FLOOR :-

AREA OF FLAT A1 = 58.748 sqm.
 AREA OF FLAT A2 = 52.507 sqm.
 AREA OF FLAT A3 = 63.434 sqm.
 SERVICE AREA = 22.157 sqm.

CONSUMED F.A.R. = 721.678 = 1.85
 STAIR MUMTY ROOM AREA = 17.282 SQM.
 LIFT MACHINE ROOM AREA = 16.035 SQM.

- SPECIFICATIONS:**
- ALL DIMENSION ARE IN MILLIMETERS UNLESS OTHER WISE NOTED
 - ALL LEVELS OF THE BUILDING SHOULD BE CHECKED WITH THE RELEVANT ARCHITECTURAL DRAWINGS
 - ALL THE DEPTH OF THE FOUNDATION SHOULD BE CONSIDERED FROM EXISTING GROUND LEVEL
 - ALL THE FOUNDATIONS ARE TO BE DONE WITH CONCRETE GRADE M-20 (i.e. 1:1.5:3)
 - ALL THE OTHER STRUCTURAL ELEMENTS WITH THE BEAM / SLABS ARE TO BE MAINTAINED WITH M-20 GRADE CONCRETE (i.e. 1:1.5:3) & M-25 GRADE FOR COLUMN
 - LAP LENGTH OF REINFORCEMENT : 50 D OF BAR
 - COVER OF REINFORCEMENT :
 FOUNDATION - 75
 BEAM - 25
 SLAB - 15
 COLUMN - 40
 - DEVELOPMENT LENGTH OF THE REINFORCEMENT SHOULD BE MAINTAINED FOR ALL THE BEAM REINFORCEMENT (INCLUDING EXTRA REINFORCEMENT).
 - OVERLAPPING BEAMS ARE TO BE MAINTAINED WITH A 50 MM CRANK TO PLACE THE REINFORCEMENT OF BAR
 - ALL THE CONSTRUCTIONAL PROCEDURE SHOULD FOLLOW THE IS CODE. IS. 456
 - GRADE OF STEEL SHOULD BE Fe 500.
 - GRADE S3 SHOULD BE THE QUALITY OF CEMENT FOR THE CONCRETING OF THE STRUCTURAL ELEMENT.
 - PROPER CURING OF THE STRUCTURAL ELEMENTS TO BE MAINTAINED WITH THE HELP OF HESSIAN CLOTH.
 - DESIGHTERING OF THE SLAB/BEAMS SHOULD BE FOLLOWED STRICTLY WITH IS 456
 - ALL EXTERNAL WALL SHOULD BE 200 THK & INTERNAL WALL SHOULD BE 125 THK. UNLESS OTHERWISE STATED.

SUTAPA GHOSH
SIGNATURE OF ARCHITECT

STRUCTURAL DECLARATION
 CERTIFIED THAT THE FOUNDATION AND THE SUPER STRUCTURE OF THE BUILDING SO DESIGNED BY ME TO BE SAFE IN ALL RESPECTS INCLUDING THE CONSIDERATION OF ALL POSSIBLE LOADS (HORIZONTAL & VERTICAL) AS PER N.B.C. (I) LATEST EDITION.

ASIM BARKAR
SIGNATURE OF STRUCTURAL ENGINEER

ASIM BARKAR
SIGNATURE OF GEOTECH ENGINEER

SUDIPA CHAKRABORTY & DEBANALI CHAKRABORTY
SIGNATURE OF OWNER

SCALE - 1:1

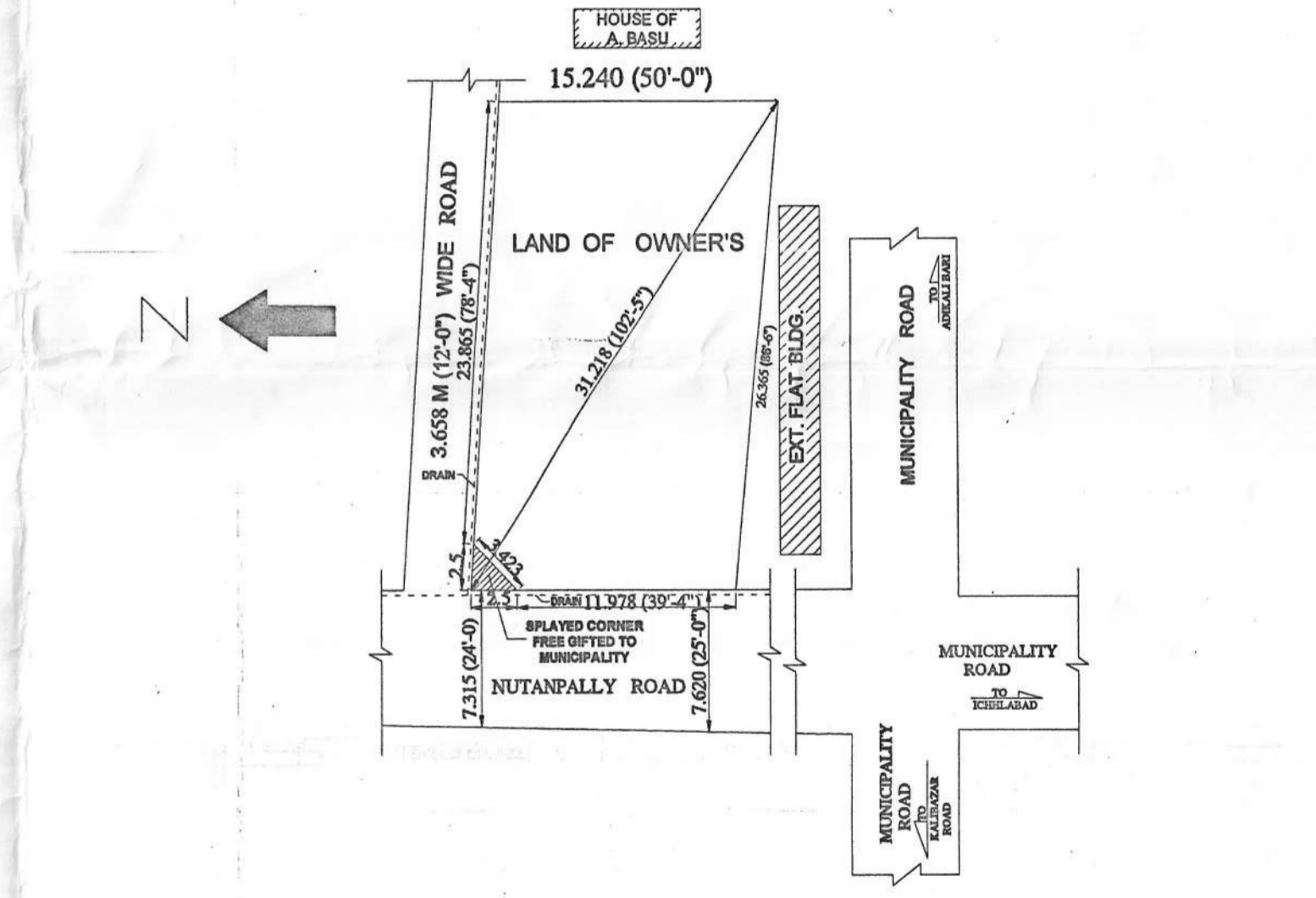
PLANS, SECTIONS, ELEVATIONS, SITE PLAN, RESERVOIR & SEPTIC TANK DETAILS

ARCHITECTURAL SHEET

SITE PLAN OF PROPOSED G+V STORIED RESIDENTIAL APPARTMENT OF SUDIPA CHAKRABORTY W/O- LATE SANKAR PROSAD CHAKRABORTY & DEBANALI CHAKRABORTY D/O- LATE SANKAR PROSAD CHAKRABORTY AT THE MOUZA- RADHANAGAR, J.L. NO- 39, R.S. PLOT NO- 7322, L.R. PLOT NO- 7302, R.S. KHATIAN NO. - 244, L.R. KHATIAN NO- 9266 & 9267, MAHALLA- KALIBAZAR, HOLDING NO- 137, WARD NO- 08, UNDER BURDWAN MUNICIPALITY, P.S.- BURDWAN & DIST- PURBA BARDHAMAN.

SCALE = 1:200

AREA LAND - 404.833 SQM. / 4366 SFT.
 AREA OF LAND (AS PER PHYSICAL MEASUREMENT) = 390.115 SQM. (4199.19 SQ. FT.)
 NATURE OF LAND - BASTU



OFFICIAL USE (U.L.B.) (B.M.)